



South Central Kansas MLS

South Central Kansas MLS

170 W. Dewey, Wichita, KS 67202

www.sckrealtors.com

February 11, 2026

South Central Kansas MLS Releases Home Sales Figures for January 2026

Home sales in South Central Kansas rose by 4.7% in January compared to the prior year. Sales in January 2026 totaled 662 units, up from 632 in 2025.

Among existing homes, 497 units sold in January, an increase of 10.7% from 449 units that sold in 2025. The average sale price of existing homes was \$255,025. This represents an increase of 6.3% from the January 2025 average price of \$239,934.

For new construction, 64 sales occurred in January, up from 58 units the prior year, an increase of 10.3%. The average sale price of new homes in January was \$375,036, down 3.1% from the same period last year.

A total of 792 contracts for sale were written in January 2026, up from 668 in January 2025. This is an increase of 18.6%. Contracts written during the month reflect, in part, sales that are set to close in the near future.

The inventory of active listings in South Central Kansas stood at 1,990 units at the end of January, which is up from 1,813 homes that were on the market at the end of January last year. At the current rate of sales, this figure represents 2.2 months' supply of homes on the market.

For questions and/or comments, please contact South Central Kansas MLS President Brandon Baker at brandonb@thecarnahangroup.com.





Entire MLS System Housing Report



Market Overview

South Central Kansas Home Sales Rose in January

Total home sales in South Central Kansas rose by 4.7% last month to 662 units, compared to 632 units in January 2025. Total sales volume was \$173.2 million, up 9.8% from a year earlier.

The median sale price in January was \$224,950, up from \$222,375 a year earlier. Homes that sold in January were typically on the market for 32 days and sold for 100.0% of their list prices.

South Central Kansas Active Listings Up at End of January

The total number of active listings in South Central Kansas at the end of January was 1,990 units, up from 1,813 at the same point in 2025. This represents a 2.2 months' supply of homes available for sale. The median list price of homes on the market at the end of January was \$264,990.

During January, a total of 792 contracts were written up from 668 in January 2025. At the end of the month, there were 940 contracts still pending.

Report Contents

- Summary Statistics – Page 2
- Closed Listing Analysis – Page 3
- Active Listings Analysis – Page 7
- Months' Supply Analysis – Page 11
- New Listings Analysis – Page 12
- Contracts Written Analysis – Page 15
- Pending Contracts Analysis – Page 19

Contact Information

Brandon Baker, President
 South Central Kansas MLS
 170 W. Dewey
 Wichita, KS 67202
brandonb@thecarnahangroup.com
www.sckrealtors.com



Entire MLS System Summary Statistics

January MLS Statistics Three-year History		Current Month			Year-to-Date		
		2026	2025	2024	2026	2025	2024
Home Sales		662	632	583	662	632	583
Change from prior year		4.7%	8.4%	-1.2%	4.7%	8.4%	-1.2%
Active Listings		1,990	1,813	1,424	N/A	N/A	N/A
Change from prior year		9.8%	27.3%	19.8%			
Months' Supply		2.2	2.0	1.6	N/A	N/A	N/A
Change from prior year		10.0%	25.0%	33.3%			
New Listings		905	969	813	905	969	813
Change from prior year		-6.6%	19.2%	-8.7%	-6.6%	19.2%	-8.7%
Contracts Written		792	668	690	792	668	690
Change from prior year		18.6%	-3.2%	-8.4%	18.6%	-3.2%	-8.4%
Pending Contracts		940	851	848	N/A	N/A	N/A
Change from prior year		10.5%	0.4%	-12.5%			
Sales Volume (1,000s)		173,234	157,709	131,207	173,234	157,709	131,207
Change from prior year		9.8%	20.2%	6.2%	9.8%	20.2%	6.2%
Average	Sale Price	261,683	249,539	225,055	261,683	249,539	225,055
	Change from prior year	4.9%	10.9%	7.4%	4.9%	10.9%	7.4%
	List Price of Actives	320,077	324,413	332,993	N/A	N/A	N/A
	Change from prior year	-1.3%	-2.6%	0.9%			
	Days on Market	48	45	43	48	45	43
Change from prior year	6.7%	4.7%	26.5%	6.7%	4.7%	26.5%	
Percent of List	98.0%	98.1%	98.0%	98.0%	98.1%	98.0%	
Change from prior year	-0.1%	0.1%	-0.6%	-0.1%	0.1%	-0.6%	
Percent of Original	95.5%	96.0%	95.6%	95.5%	96.0%	95.6%	
Change from prior year	-0.5%	0.4%	-1.7%	-0.5%	0.4%	-1.7%	
Median	Sale Price	224,950	222,375	187,000	224,950	222,375	187,000
	Change from prior year	1.2%	18.9%	1.1%	1.2%	18.9%	1.1%
	List Price of Actives	264,990	269,990	274,000	N/A	N/A	N/A
	Change from prior year	-1.9%	-1.5%	-0.5%			
	Days on Market	32	25	25	32	25	25
Change from prior year	28.0%	0.0%	78.6%	28.0%	0.0%	78.6%	
Percent of List	100.0%	100.0%	100.0%	100.0%	100.0%	100.0%	
Change from prior year	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	
Percent of Original	97.9%	97.7%	97.9%	97.9%	97.7%	97.9%	
Change from prior year	0.2%	-0.2%	-0.8%	0.2%	-0.2%	-0.8%	

Note: Year-to-date statistics cannot be calculated for Active Listings, Months' Supply and Pending Contracts.



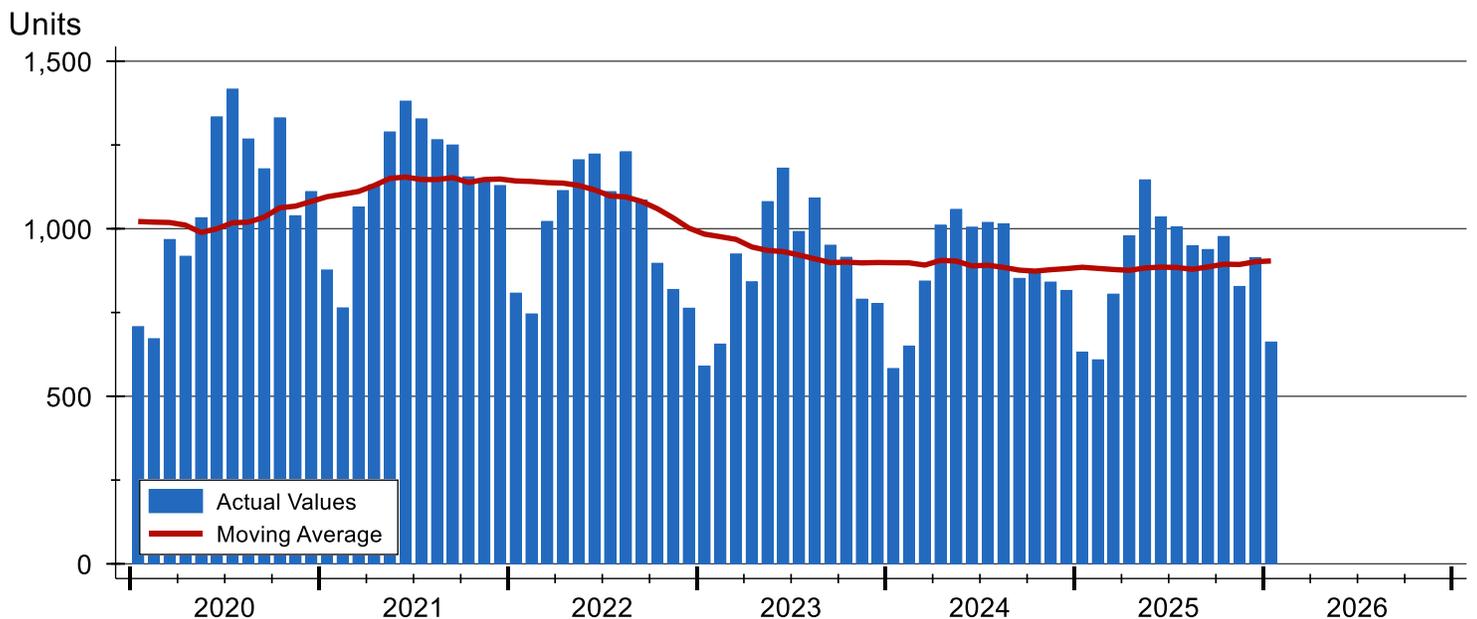
Entire MLS System Closed Listings Analysis

Summary Statistics for Closed Listings		2026	January 2025	Change	2026	Year-to-Date 2025	Change
Closed Listings		662	632	4.7%	662	632	4.7%
Volume (1,000s)		173,234	157,709	9.8%	173,234	157,709	9.8%
Months' Supply		2.2	2.0	10.0%	N/A	N/A	N/A
Average	Sale Price	261,683	249,539	4.9%	261,683	249,539	4.9%
	Days on Market	48	45	6.7%	48	45	6.7%
	Percent of List	98.0%	98.1%	-0.1%	98.0%	98.1%	-0.1%
	Percent of Original	95.5%	96.0%	-0.5%	95.5%	96.0%	-0.5%
Median	Sale Price	224,950	222,375	1.2%	224,950	222,375	1.2%
	Days on Market	32	25	28.0%	32	25	28.0%
	Percent of List	100.0%	100.0%	0.0%	100.0%	100.0%	0.0%
	Percent of Original	97.9%	97.7%	0.2%	97.9%	97.7%	0.2%

A total of 662 homes sold in South Central Kansas in January, up from 632 units in January 2025. Total sales volume rose to \$173.2 million compared to \$157.7 million in the previous year.

The median sales price in January was \$224,950, up 1.2% compared to the prior year. Median days on market was 32 days, up from 23 days in December, and up from 25 in January 2025.

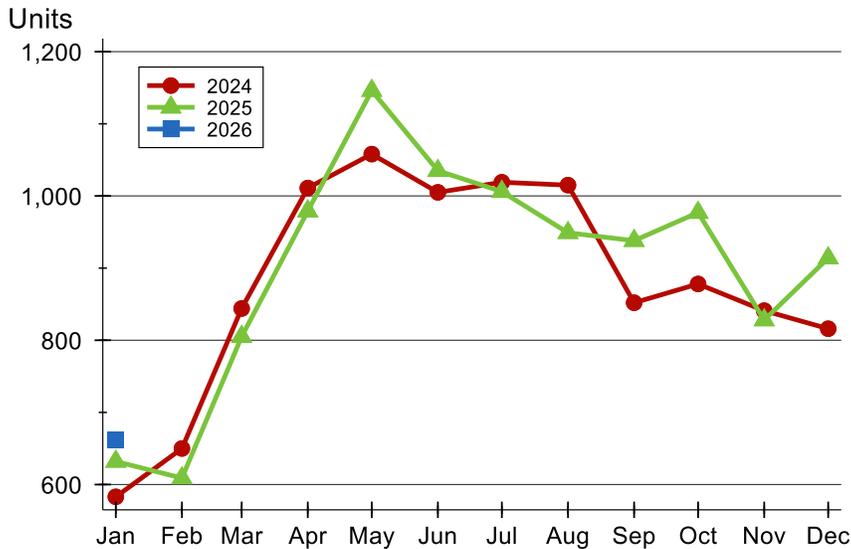
History of Closed Listings





Entire MLS System Closed Listings Analysis

Closed Listings by Month



Month	2024	2025	2026
January	583	632	662
February	650	609	
March	844	805	
April	1,011	979	
May	1,058	1,146	
June	1,005	1,035	
July	1,019	1,006	
August	1,015	949	
September	852	938	
October	878	977	
November	841	828	
December	816	914	

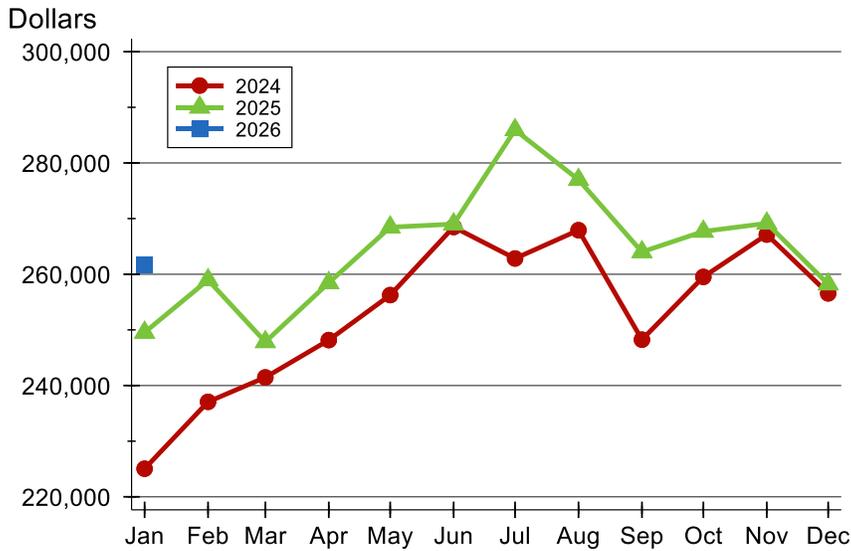
Closed Listings by Price Range

Price Range	Sales		Months' Supply	Sale Price		Days on Market		Price as % of List		Price as % of Orig.	
	Number	Percent		Average	Median	Avg.	Med.	Avg.	Med.	Avg.	Med.
Below \$25,000	3	0.5%	2.0	18,500	18,000	71	75	75.7%	70.2%	57.3%	45.4%
\$25,000-\$49,999	16	2.4%	1.4	38,992	42,275	37	31	90.5%	97.0%	87.5%	97.0%
\$50,000-\$99,999	81	12.2%	1.5	73,660	72,000	52	38	95.1%	95.2%	91.0%	92.6%
\$100,000-\$124,999	35	5.3%	1.6	111,004	110,000	32	32	98.0%	100.0%	95.0%	97.6%
\$125,000-\$149,999	50	7.6%	1.9	137,569	138,250	30	26	98.7%	100.0%	96.6%	99.8%
\$150,000-\$174,999	60	9.1%	1.5	160,252	159,625	49	34	98.6%	98.4%	96.4%	97.1%
\$175,000-\$199,999	49	7.4%	2.8	186,115	187,300	54	37	98.9%	100.0%	96.3%	97.5%
\$200,000-\$249,999	100	15.1%	1.9	226,839	229,950	50	26	98.2%	100.0%	95.5%	97.9%
\$250,000-\$299,999	86	13.0%	1.8	270,943	270,000	42	30	99.1%	100.0%	97.3%	98.4%
\$300,000-\$399,999	101	15.3%	2.4	340,454	335,000	51	32	98.0%	99.8%	96.0%	97.8%
\$400,000-\$499,999	34	5.1%	2.7	439,623	440,000	61	30	99.4%	99.5%	97.1%	98.8%
\$500,000-\$749,999	31	4.7%	3.7	600,134	597,500	52	39	99.2%	99.3%	97.7%	98.2%
\$750,000-\$999,999	6	0.9%	3.8	811,767	782,802	95	26	100.6%	99.4%	96.6%	97.7%
\$1,000,000 and up	10	1.5%	5.3	1,829,699	1,288,595	42	20	99.0%	100.0%	99.3%	100.0%



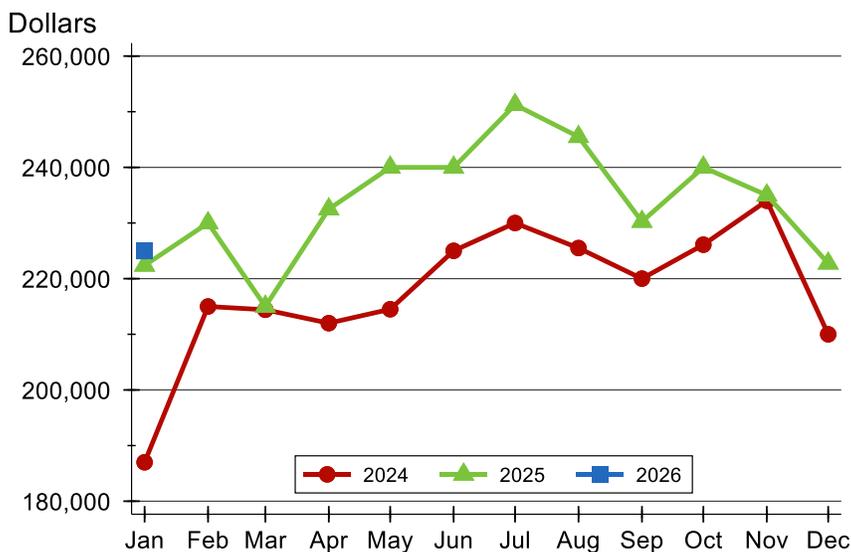
Entire MLS System Closed Listings Analysis

Average Price



Month	2024	2025	2026
January	225,055	249,539	261,683
February	237,071	258,976	
March	241,461	247,850	
April	248,170	258,462	
May	256,252	268,459	
June	268,492	269,015	
July	262,831	285,937	
August	267,921	277,002	
September	248,246	264,009	
October	259,518	267,695	
November	267,130	269,153	
December	256,560	258,221	

Median Price

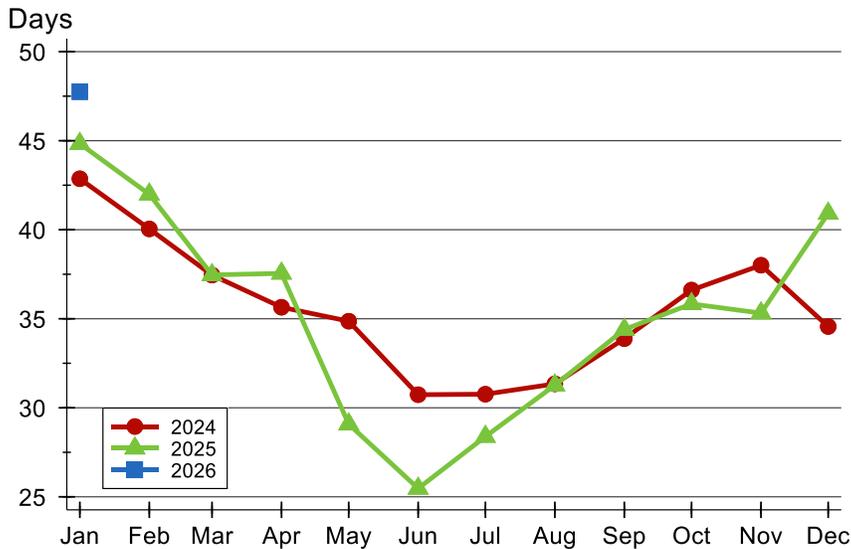


Month	2024	2025	2026
January	187,000	222,375	224,950
February	215,000	230,000	
March	214,410	215,000	
April	212,000	232,500	
May	214,500	240,000	
June	225,000	240,000	
July	230,000	251,250	
August	225,500	245,500	
September	220,000	230,250	
October	226,100	240,000	
November	234,000	235,000	
December	210,000	222,750	



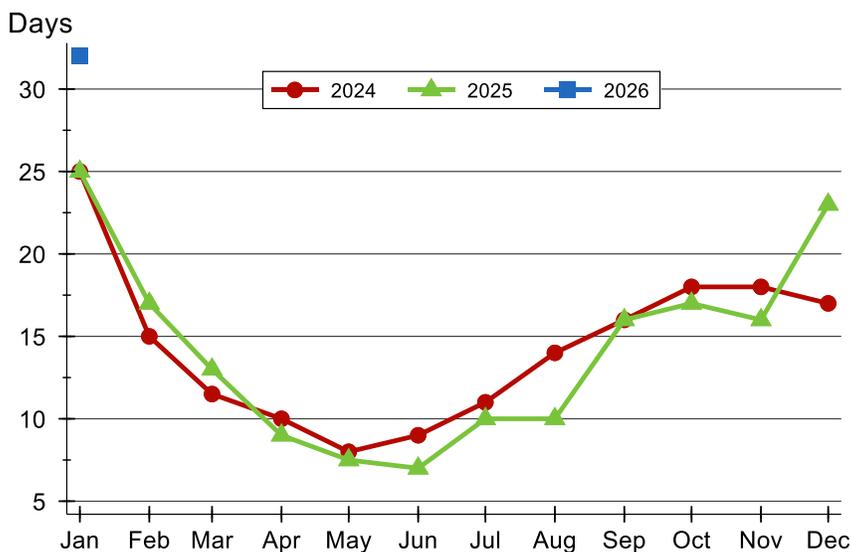
Entire MLS System Closed Listings Analysis

Average DOM



Month	2024	2025	2026
January	43	45	48
February	40	42	
March	37	37	
April	36	38	
May	35	29	
June	31	25	
July	31	28	
August	31	31	
September	34	34	
October	37	36	
November	38	35	
December	35	41	

Median DOM



Month	2024	2025	2026
January	25	25	32
February	15	17	
March	12	13	
April	10	9	
May	8	8	
June	9	7	
July	11	10	
August	14	10	
September	16	16	
October	18	17	
November	18	16	
December	17	23	



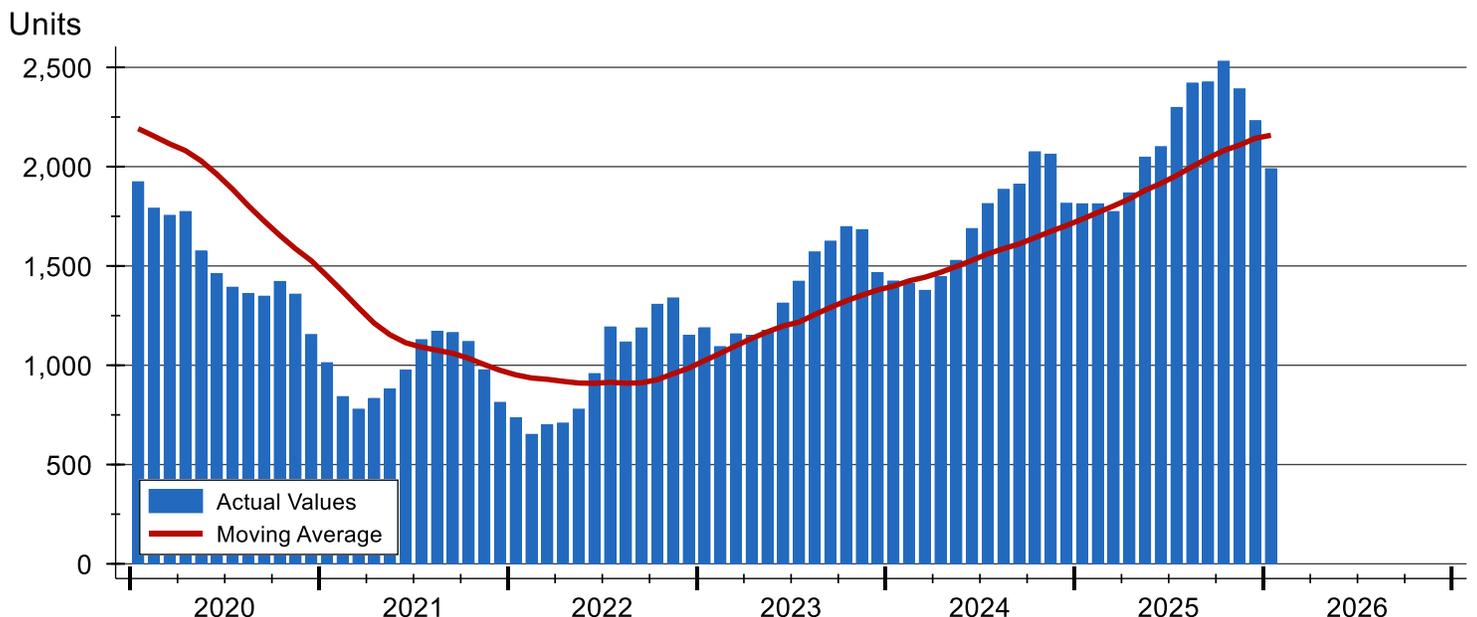
Entire MLS System Active Listings Analysis

Summary Statistics for Active Listings		2026	End of January 2025	Change
Active Listings		1,990	1,813	9.8%
Volume (1,000s)		636,953	588,160	8.3%
Months' Supply		2.2	2.0	10.0%
Average	List Price	320,077	324,413	-1.3%
	Days on Market	63	73	-13.7%
	Percent of Original	97.6%	98.3%	-0.7%
Median	List Price	264,990	269,990	-1.9%
	Days on Market	22	39	-43.6%
	Percent of Original	100.0%	100.0%	0.0%

A total of 1,990 homes were available for sale in South Central Kansas at the end of January. This represents a 2.2 months' supply of active listings.

The median list price of homes on the market at the end of January was \$264,990, down 1.9% from 2025. The typical time on market for active listings was 22 days, down from 39 days a year earlier.

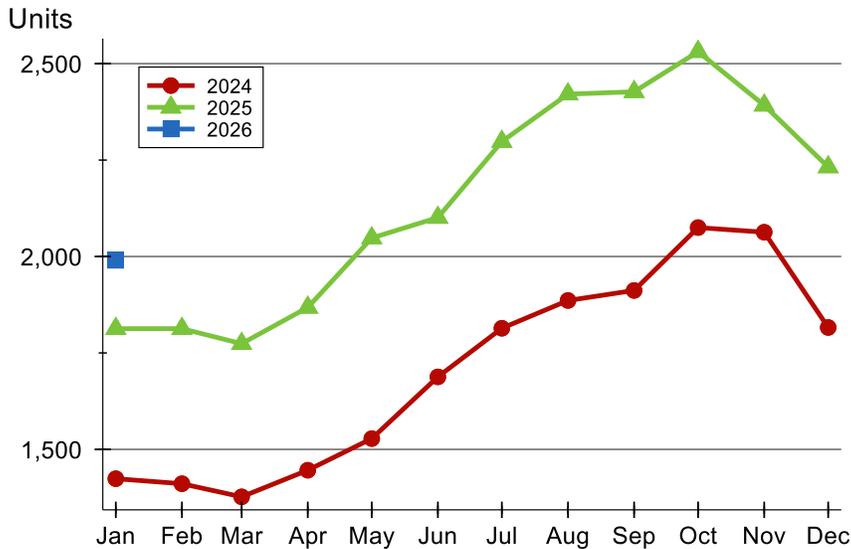
History of Active Listings





Entire MLS System Active Listings Analysis

Active Listings by Month



Month	2024	2025	2026
January	1,424	1,813	1,990
February	1,411	1,813	
March	1,377	1,774	
April	1,446	1,868	
May	1,528	2,048	
June	1,688	2,101	
July	1,814	2,298	
August	1,886	2,421	
September	1,912	2,427	
October	2,075	2,531	
November	2,063	2,392	
December	1,816	2,232	

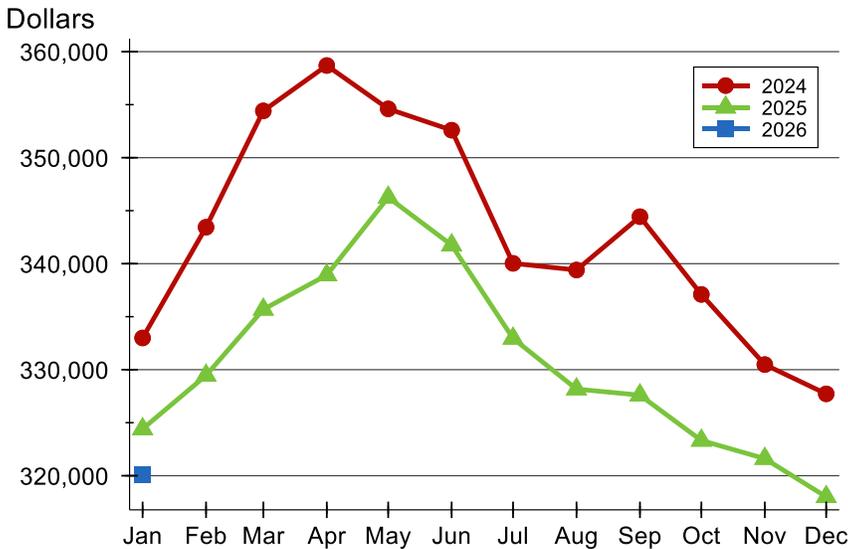
Active Listings by Price Range

Price Range	Active Listings		Months' Supply	List Price		Days on Market		Price as % of Orig.	
	Number	Percent		Average	Median	Avg.	Med.	Avg.	Med.
Below \$25,000	10	0.5%	2.0	17,780	18,250	32	19	96.6%	100.0%
\$25,000-\$49,999	22	1.1%	1.4	37,545	40,000	43	28	93.0%	100.0%
\$50,000-\$99,999	109	5.6%	1.5	79,827	80,000	67	35	93.0%	100.0%
\$100,000-\$124,999	80	4.1%	1.6	112,525	111,698	63	42	94.8%	96.6%
\$125,000-\$149,999	127	6.6%	1.9	137,202	137,500	50	29	97.0%	100.0%
\$150,000-\$174,999	115	5.9%	1.5	160,390	159,900	37	12	97.5%	100.0%
\$175,000-\$199,999	211	10.9%	2.8	186,003	187,500	58	24	97.5%	100.0%
\$200,000-\$249,999	241	12.5%	1.9	227,976	229,900	48	13	98.2%	100.0%
\$250,000-\$299,999	237	12.2%	1.8	276,126	275,000	52	11	98.7%	100.0%
\$300,000-\$399,999	344	17.8%	2.4	350,829	350,000	68	28	98.3%	100.0%
\$400,000-\$499,999	175	9.0%	2.7	450,138	450,000	97	39	98.8%	100.0%
\$500,000-\$749,999	183	9.5%	3.7	597,687	585,000	92	42	98.2%	100.0%
\$750,000-\$999,999	41	2.1%	3.8	847,929	834,000	104	57	97.4%	100.0%
\$1,000,000 and up	40	2.1%	5.3	1,538,505	1,263,891	52	5	98.4%	100.0%



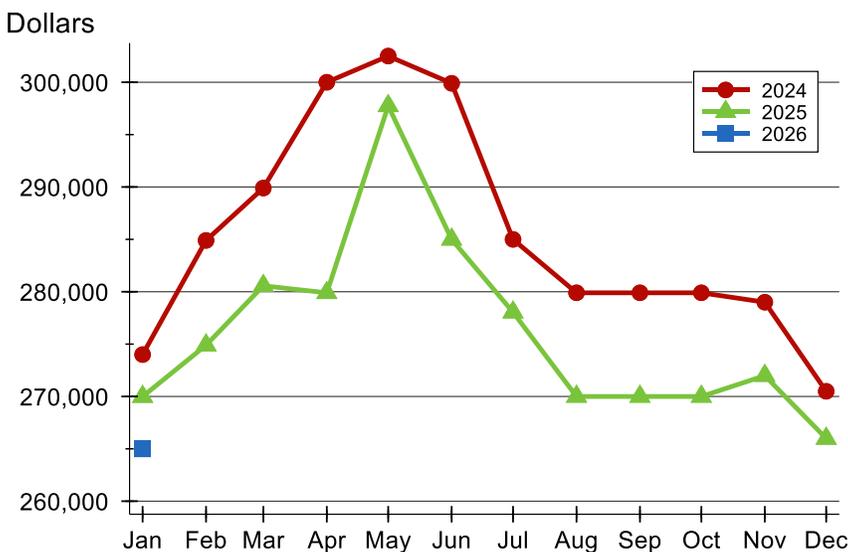
Entire MLS System Active Listings Analysis

Average Price



Month	2024	2025	2026
January	332,993	324,413	320,077
February	343,440	329,460	
March	354,415	335,685	
April	358,695	338,928	
May	354,605	346,255	
June	352,593	341,753	
July	340,031	332,956	
August	339,404	328,174	
September	344,433	327,599	
October	337,101	323,326	
November	330,482	321,613	
December	327,721	318,008	

Median Price

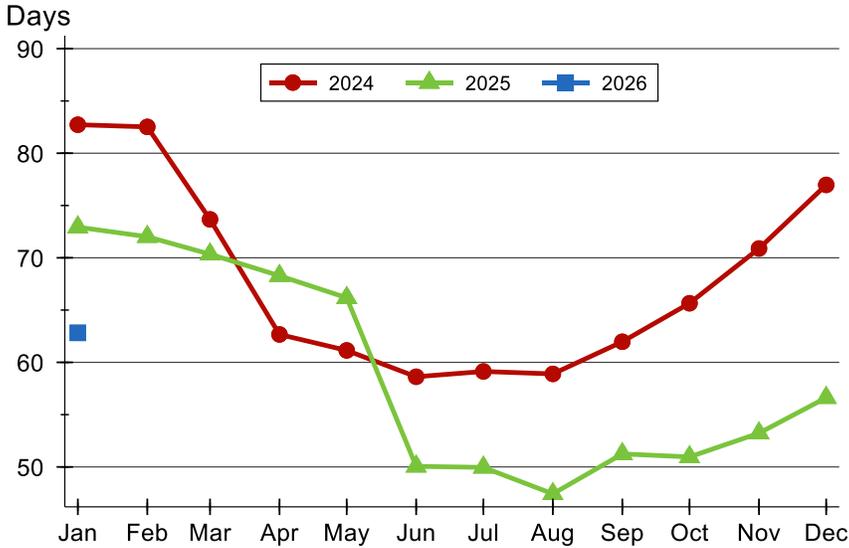


Month	2024	2025	2026
January	274,000	269,990	264,990
February	284,900	274,900	
March	289,900	280,571	
April	300,000	279,900	
May	302,500	297,745	
June	299,900	285,000	
July	285,000	278,045	
August	279,900	270,000	
September	279,900	270,000	
October	279,900	270,000	
November	279,000	271,990	
December	270,495	265,990	



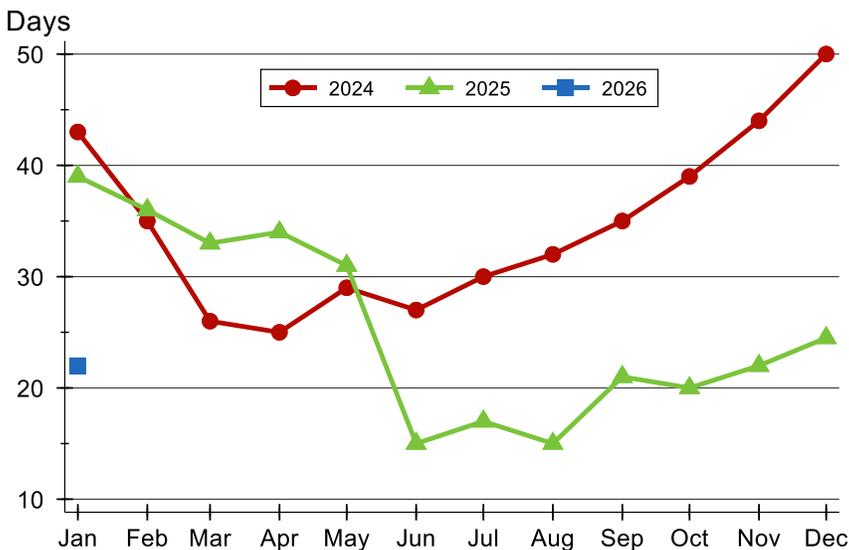
Entire MLS System Active Listings Analysis

Average DOM



Month	2024	2025	2026
January	83	73	63
February	83	72	
March	74	70	
April	63	68	
May	61	66	
June	59	50	
July	59	50	
August	59	47	
September	62	51	
October	66	51	
November	71	53	
December	77	57	

Median DOM

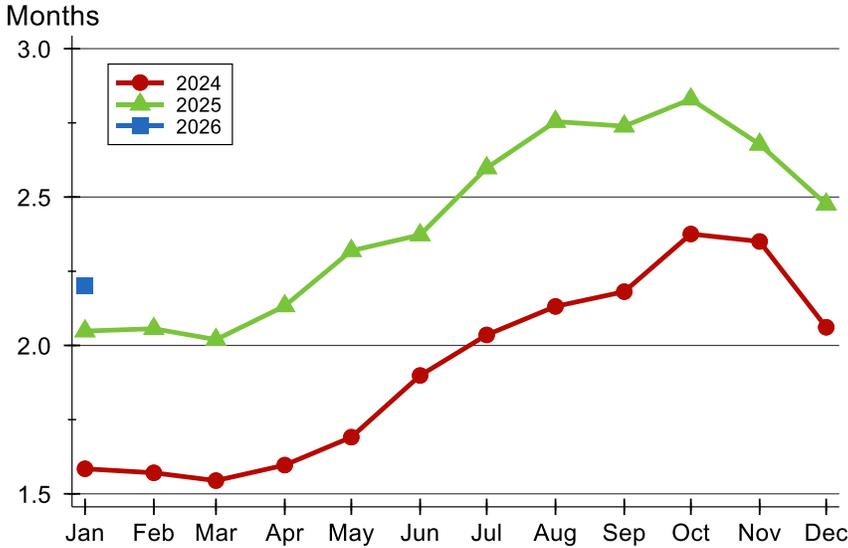


Month	2024	2025	2026
January	43	39	22
February	35	36	
March	26	33	
April	25	34	
May	29	31	
June	27	15	
July	30	17	
August	32	15	
September	35	21	
October	39	20	
November	44	22	
December	50	25	



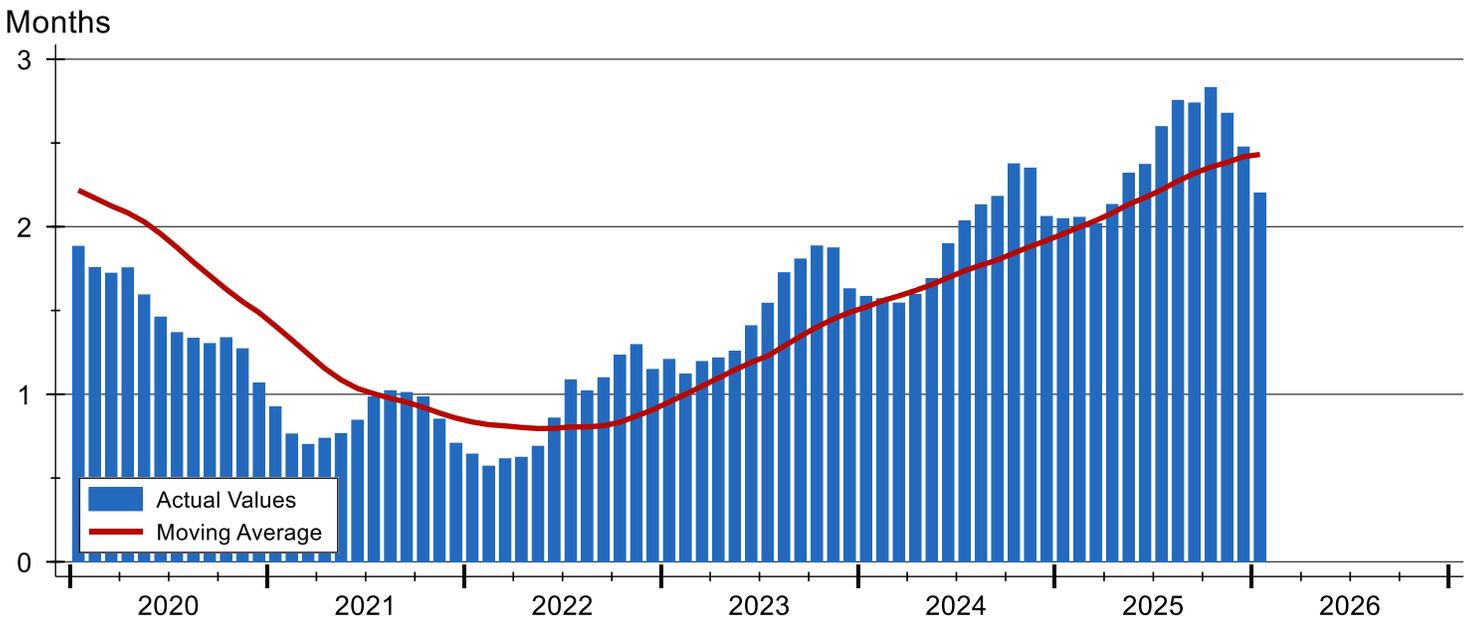
Entire MLS System Months' Supply Analysis

Months' Supply by Month



Month	2024	2025	2026
January	1.6	2.0	2.2
February	1.6	2.1	
March	1.5	2.0	
April	1.6	2.1	
May	1.7	2.3	
June	1.9	2.4	
July	2.0	2.6	
August	2.1	2.8	
September	2.2	2.7	
October	2.4	2.8	
November	2.4	2.7	
December	2.1	2.5	

History of Month's Supply





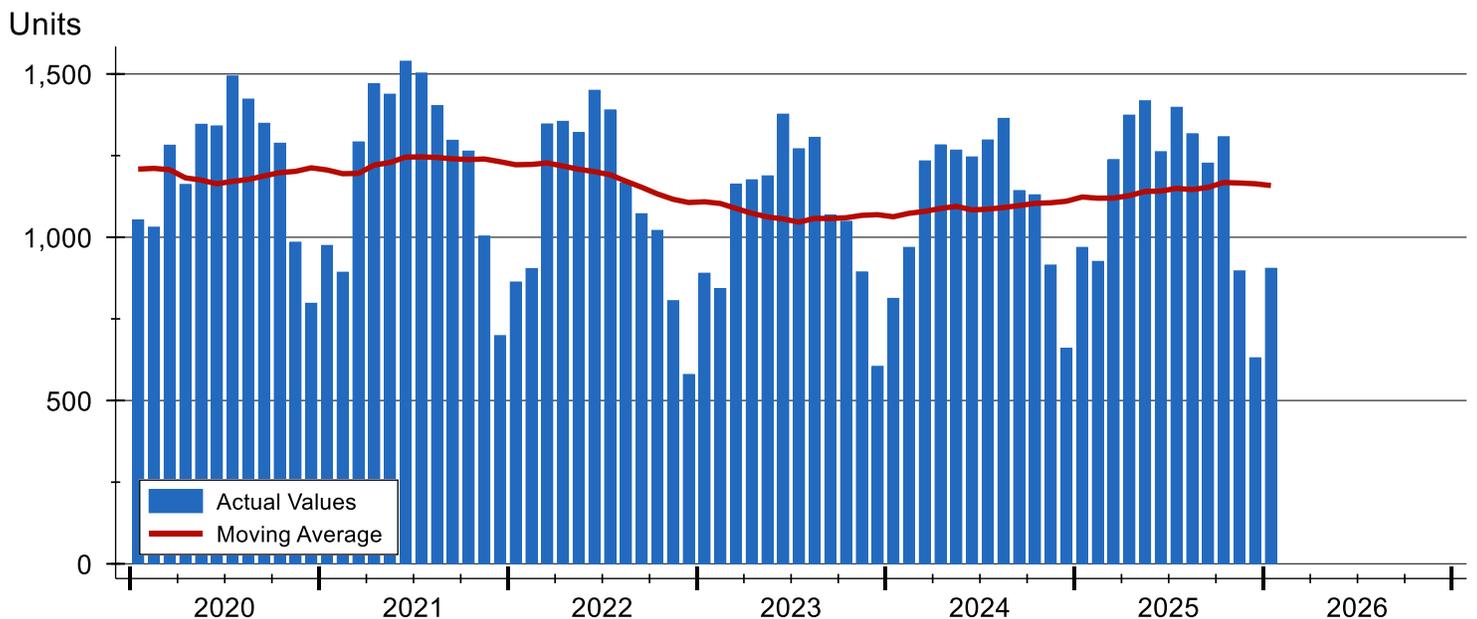
Entire MLS System New Listings Analysis

Summary Statistics for New Listings		2026	January 2025	Change
Current Month	New Listings	905	969	-6.6%
	Volume (1,000s)	242,561	253,874	-4.5%
	Average List Price	268,023	261,996	2.3%
	Median List Price	225,000	235,000	-4.3%
Year-to-Date	New Listings	905	969	-6.6%
	Volume (1,000s)	242,561	253,874	-4.5%
	Average List Price	268,023	261,996	2.3%
	Median List Price	225,000	235,000	-4.3%

A total of 905 new listings were added in South Central Kansas during January, down 6.6% from the same month in 2025.

The median list price of these homes was \$225,000 down from \$235,000 in 2025.

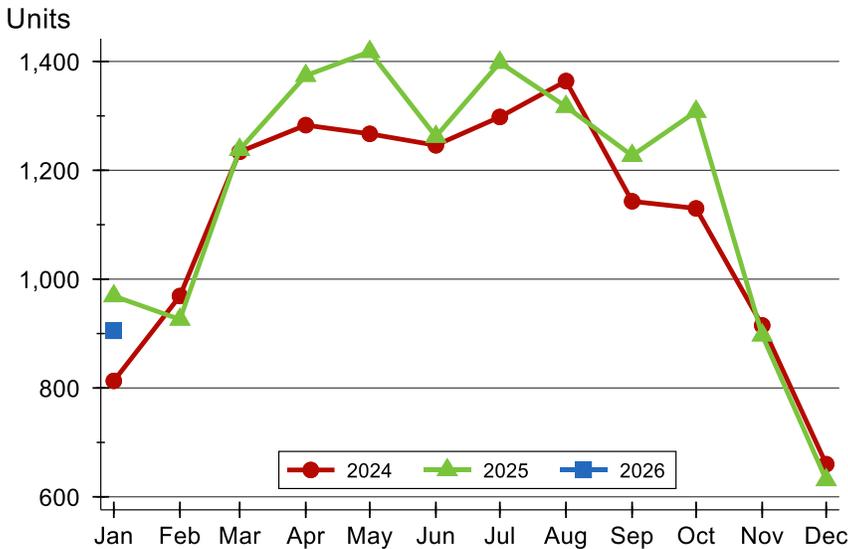
History of New Listings





Entire MLS System New Listings Analysis

New Listings by Month



Month	2024	2025	2026
January	813	969	905
February	969	926	
March	1,234	1,238	
April	1,283	1,374	
May	1,267	1,418	
June	1,246	1,262	
July	1,298	1,398	
August	1,364	1,317	
September	1,143	1,227	
October	1,130	1,308	
November	915	897	
December	660	631	

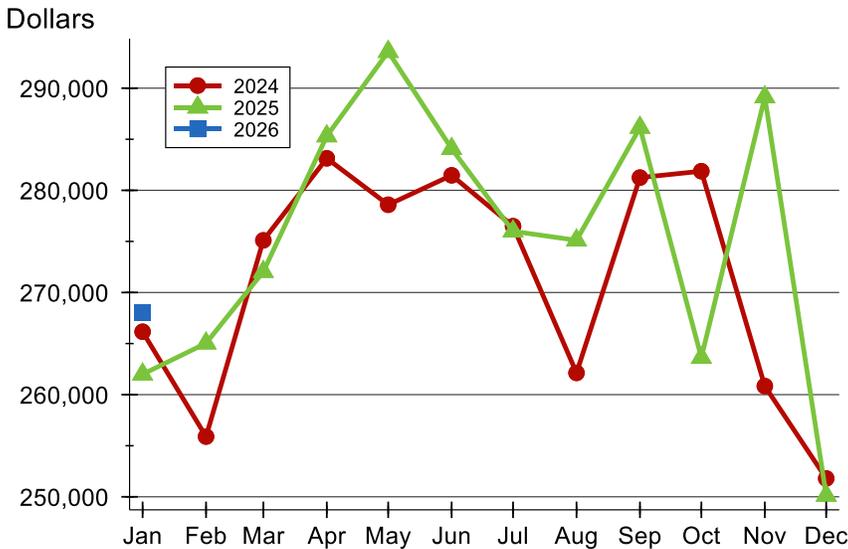
New Listings by Price Range

Price Range	New Listings		List Price		Days on Market		Price as % of Orig.	
	Number	Percent	Average	Median	Avg.	Med.	Avg.	Med.
Below \$25,000	4	0.5%	16,375	16,500	5	1	93.0%	100.0%
\$25,000-\$49,999	11	1.3%	37,773	40,000	4	4	100.0%	100.0%
\$50,000-\$99,999	64	7.4%	75,787	76,000	9	8	98.5%	100.0%
\$100,000-\$124,999	42	4.9%	112,133	114,450	12	9	97.2%	100.0%
\$125,000-\$149,999	71	8.2%	136,770	138,000	10	7	99.0%	100.0%
\$150,000-\$174,999	70	8.1%	160,554	160,000	10	6	99.5%	100.0%
\$175,000-\$199,999	102	11.8%	186,737	187,500	9	6	99.6%	100.0%
\$200,000-\$249,999	134	15.6%	225,770	225,000	12	7	99.4%	100.0%
\$250,000-\$299,999	104	12.1%	273,606	275,000	9	5	99.6%	100.0%
\$300,000-\$399,999	143	16.6%	346,410	345,000	10	6	99.4%	100.0%
\$400,000-\$499,999	50	5.8%	451,061	449,450	9	6	99.5%	100.0%
\$500,000-\$749,999	46	5.3%	595,710	597,700	7	4	99.6%	100.0%
\$750,000-\$999,999	8	0.9%	825,060	807,250	8	1	100.1%	100.0%
\$1,000,000 and up	12	1.4%	1,327,415	1,265,000	4	2	100.0%	100.0%



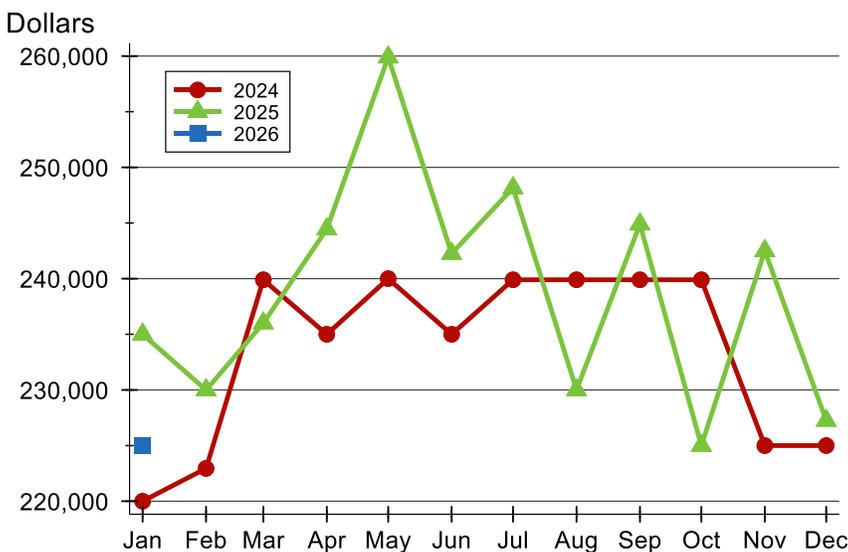
Entire MLS System New Listings Analysis

Average Price



Month	2024	2025	2026
January	266,158	261,996	268,023
February	255,896	265,036	
March	275,107	272,039	
April	283,135	285,310	
May	278,589	293,574	
June	281,472	284,077	
July	276,492	275,992	
August	262,130	275,111	
September	281,248	286,145	
October	281,874	263,632	
November	260,841	289,134	
December	251,798	250,132	

Median Price



Month	2024	2025	2026
January	220,000	235,000	225,000
February	222,950	230,000	
March	239,900	236,000	
April	235,000	244,450	
May	240,000	259,900	
June	235,000	242,250	
July	239,900	248,150	
August	239,900	230,000	
September	239,900	244,900	
October	239,900	225,000	
November	225,000	242,500	
December	225,000	227,250	



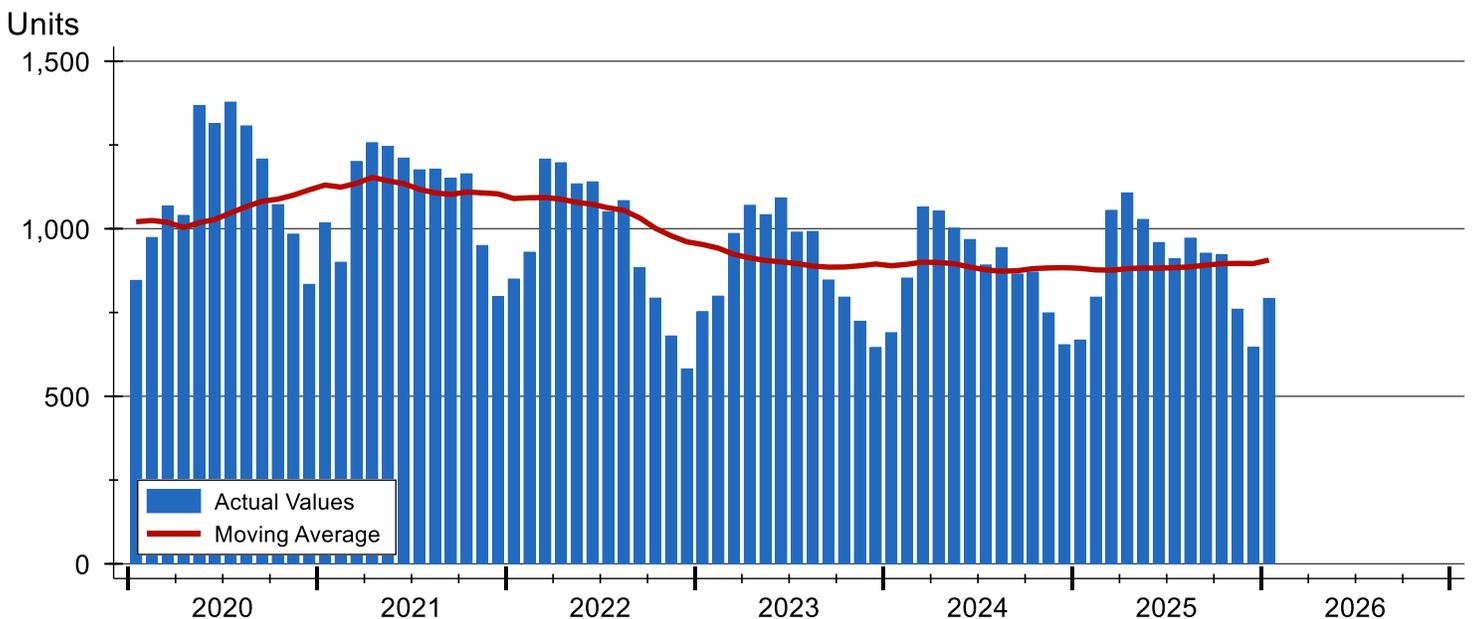
Entire MLS System Contracts Written Analysis

Summary Statistics for Contracts Written		2026	January 2025	Change	2026	Year-to-Date 2025	Change
Contracts Written		792	668	18.6%	792	668	18.6%
Volume (1,000s)		209,309	178,948	17.0%	209,309	178,948	17.0%
Average	Sale Price	264,279	267,886	-1.3%	264,279	267,886	-1.3%
	Days on Market	55	44	25.0%	55	44	25.0%
	Percent of Original	96.8%	97.1%	-0.3%	96.8%	97.1%	-0.3%
Median	Sale Price	234,950	235,000	0.0%	234,950	235,000	0.0%
	Days on Market	33	17	94.1%	33	17	94.1%
	Percent of Original	100.0%	98.8%	1.2%	100.0%	98.8%	1.2%

A total of 792 contracts for sale were written in South Central Kansas during the month of January, up from 668 in 2025. The median list price of these homes was \$234,950, down from \$235,000 the prior year.

Half of the homes that went under contract in January were on the market less than 33 days, compared to 17 days in January 2025.

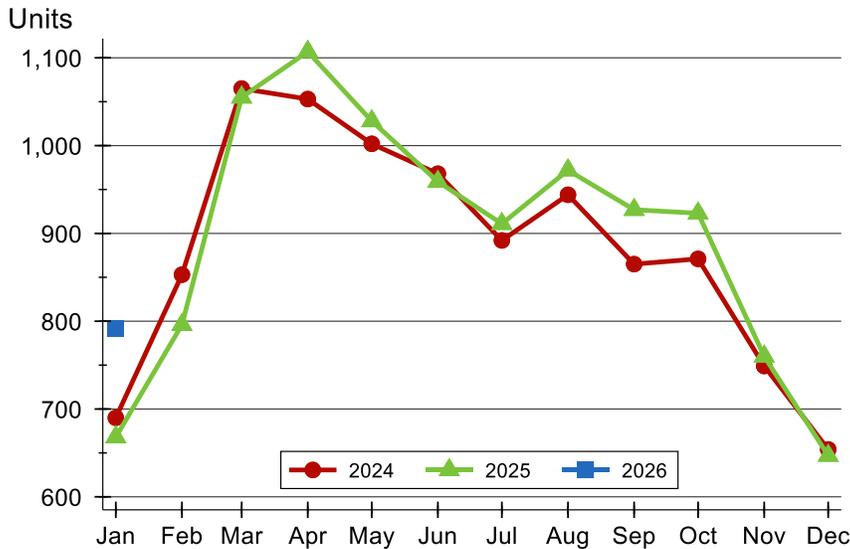
History of Contracts Written





Entire MLS System Contracts Written Analysis

Contracts Written by Month



Month	2024	2025	2026
January	690	668	792
February	853	796	
March	1,065	1,055	
April	1,053	1,107	
May	1,002	1,028	
June	968	959	
July	892	911	
August	944	972	
September	865	927	
October	871	923	
November	749	760	
December	654	647	

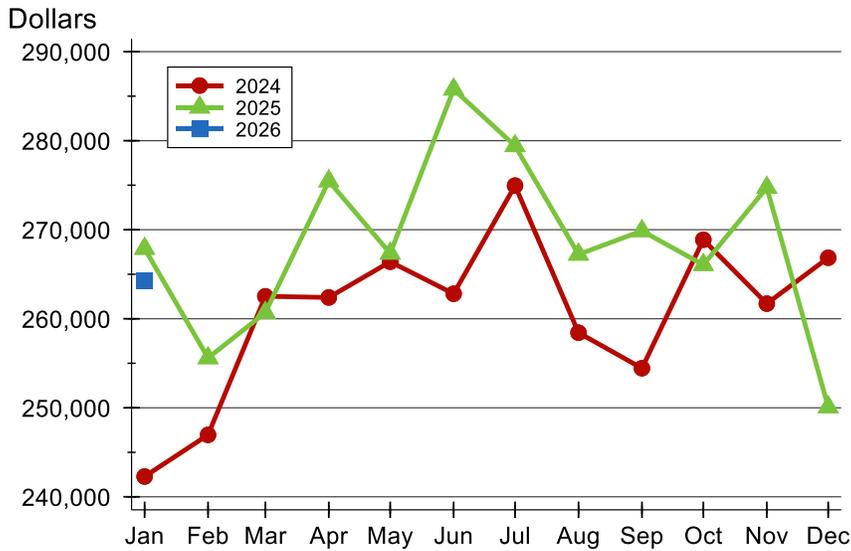
Contracts Written by Price Range

Price Range	Contracts Written		List Price		Days on Market		Price as % of Orig.	
	Number	Percent	Average	Median	Avg.	Med.	Avg.	Med.
Below \$25,000	1	0.1%	20,000	20,000	157	157	50.0%	50.0%
\$25,000-\$49,999	13	1.7%	39,269	39,900	55	51	82.3%	94.0%
\$50,000-\$99,999	70	9.1%	76,659	78,500	51	29	93.3%	97.2%
\$100,000-\$124,999	34	4.4%	114,856	115,000	51	15	94.7%	100.0%
\$125,000-\$149,999	55	7.2%	136,855	136,900	45	37	95.9%	100.0%
\$150,000-\$174,999	66	8.6%	162,039	165,000	44	38	97.3%	100.0%
\$175,000-\$199,999	73	9.5%	186,925	185,000	45	26	98.2%	100.0%
\$200,000-\$249,999	114	14.8%	226,707	227,000	44	20	97.7%	100.0%
\$250,000-\$299,999	120	15.6%	272,644	272,495	47	33	98.3%	100.0%
\$300,000-\$399,999	126	16.4%	344,649	340,000	69	38	97.1%	100.0%
\$400,000-\$499,999	52	6.8%	450,270	446,102	69	46	98.7%	100.0%
\$500,000-\$749,999	32	4.2%	593,822	580,500	99	47	98.3%	99.7%
\$750,000-\$999,999	8	1.0%	828,100	804,750	148	115	97.3%	100.0%
\$1,000,000 and up	4	0.5%	2,567,199	1,321,899	86	100	97.2%	100.0%



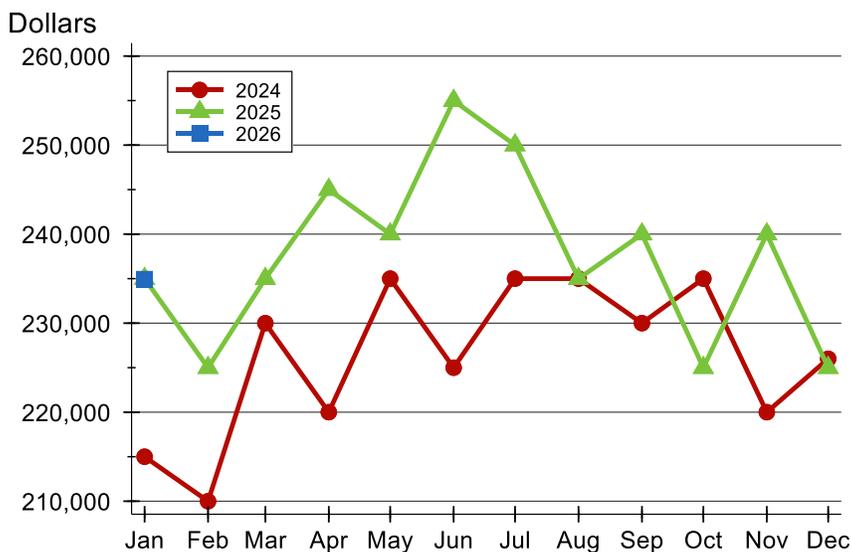
Entire MLS System Contracts Written Analysis

Average Price



Month	2024	2025	2026
January	242,281	267,886	264,279
February	246,956	255,597	
March	262,523	260,690	
April	262,391	275,468	
May	266,403	267,340	
June	262,810	285,772	
July	274,956	279,419	
August	258,439	267,226	
September	254,445	269,872	
October	268,876	266,068	
November	261,696	274,734	
December	266,854	250,088	

Median Price

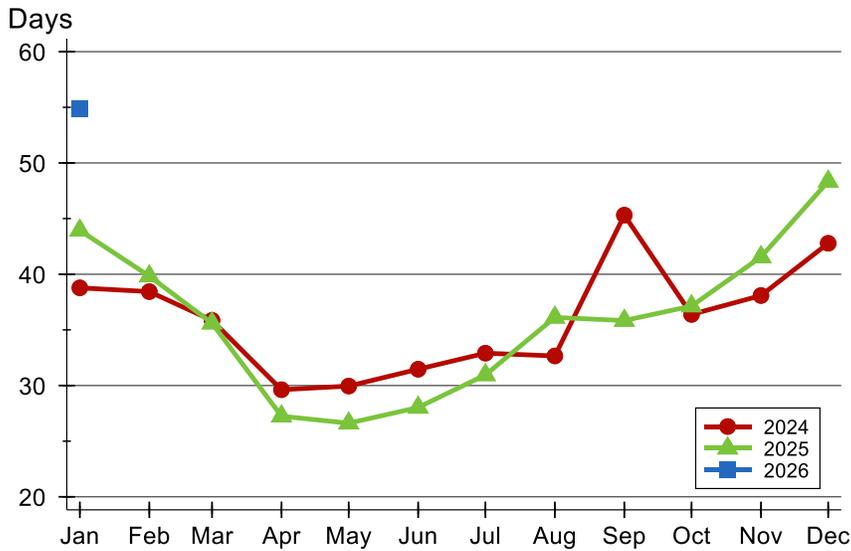


Month	2024	2025	2026
January	215,000	235,000	234,950
February	210,000	225,000	
March	230,000	235,000	
April	220,000	245,000	
May	235,000	240,000	
June	225,000	254,995	
July	235,000	250,000	
August	235,000	235,000	
September	230,000	240,000	
October	235,000	225,000	
November	220,000	240,000	
December	226,000	225,000	



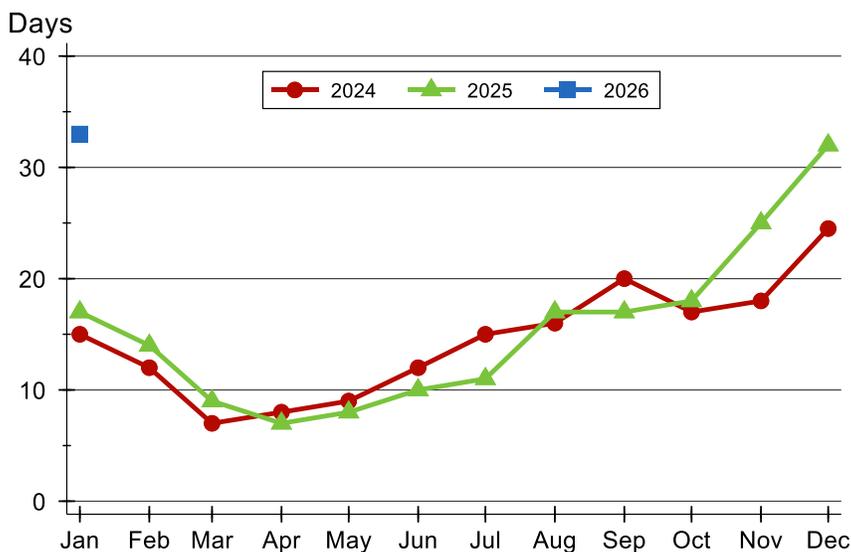
Entire MLS System Contracts Written Analysis

Average DOM



Month	2024	2025	2026
January	39	44	55
February	38	40	
March	36	36	
April	30	27	
May	30	27	
June	31	28	
July	33	31	
August	33	36	
September	45	36	
October	36	37	
November	38	42	
December	43	48	

Median DOM



Month	2024	2025	2026
January	15	17	33
February	12	14	
March	7	9	
April	8	7	
May	9	8	
June	12	10	
July	15	11	
August	16	17	
September	20	17	
October	17	18	
November	18	25	
December	25	32	



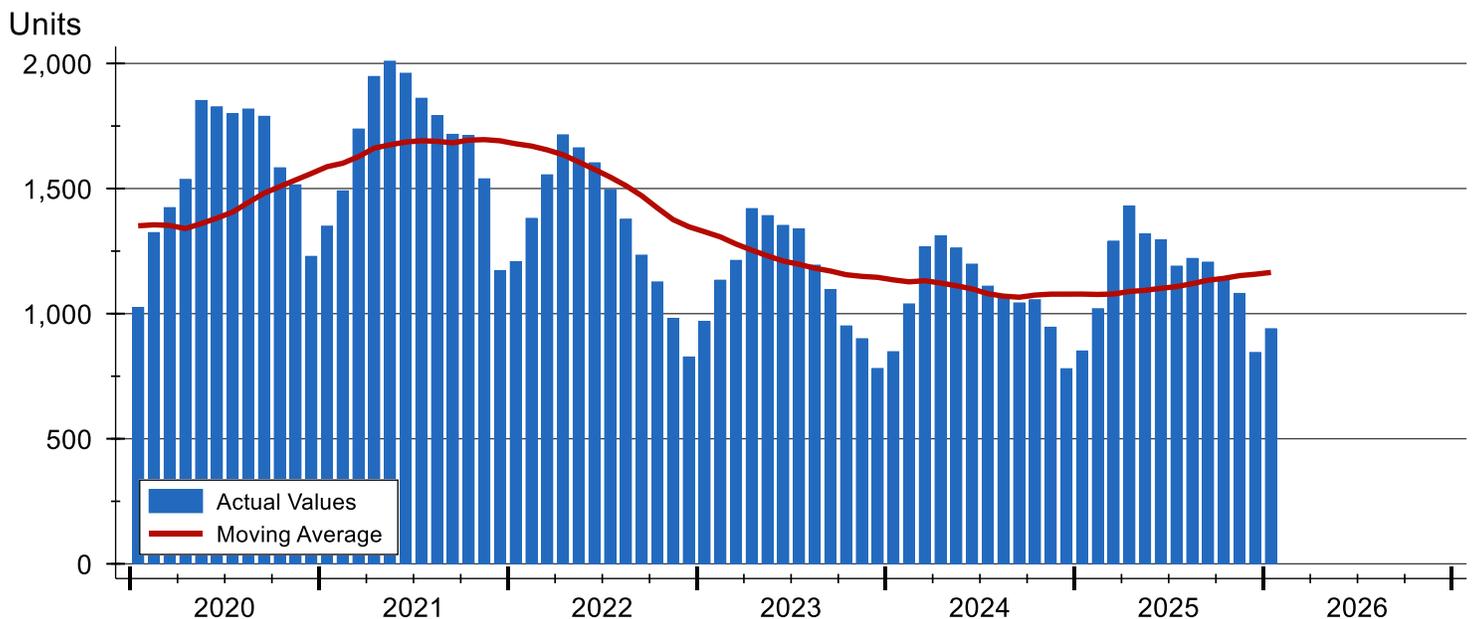
Entire MLS System Pending Contracts Analysis

Summary Statistics for Pending Contracts		End of January		
		2026	2025	Change
Pending Contracts		940	851	10.5%
Volume (1,000s)		259,086	241,311	7.4%
Average	List Price	275,624	283,561	-2.8%
	Days on Market	53	44	20.5%
	Percent of Original	97.2%	98.4%	-1.2%
Median	List Price	242,613	248,000	-2.2%
	Days on Market	30	16	87.5%
	Percent of Original	100.0%	100.0%	0.0%

A total of 940 listings in South Central Kansas had contracts pending at the end of January, up from 851 contracts pending at the end of January 2025.

Pending contracts reflect listings with a contract in place at the end of the month. In contrast, contracts written measures the number of listings put under contract during the month.

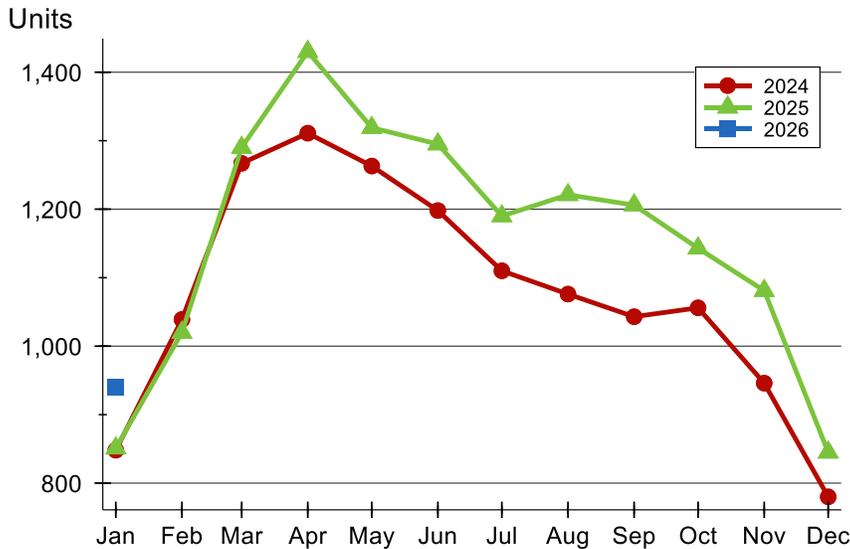
History of Pending Contracts





Entire MLS System Pending Contracts Analysis

Pending Contracts by Month



Month	2024	2025	2026
January	848	851	940
February	1,039	1,020	
March	1,267	1,290	
April	1,311	1,430	
May	1,263	1,319	
June	1,198	1,295	
July	1,110	1,190	
August	1,076	1,221	
September	1,043	1,206	
October	1,056	1,143	
November	946	1,081	
December	780	845	

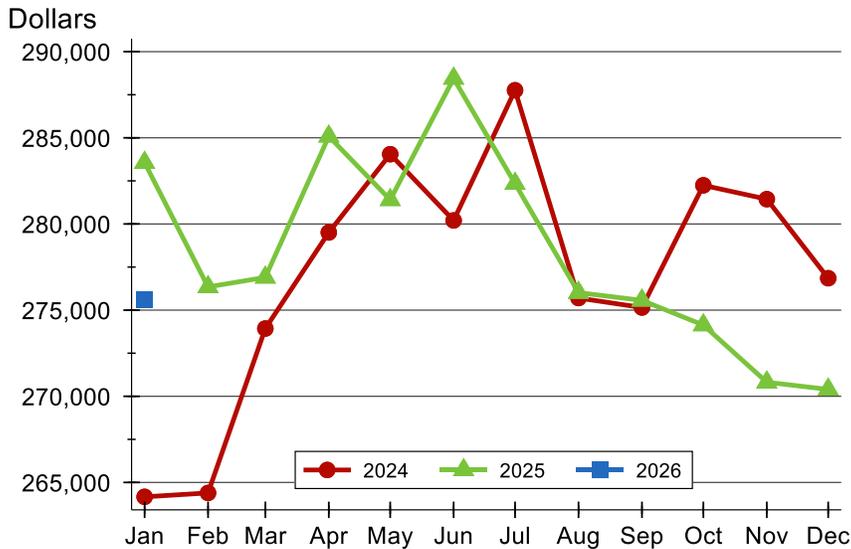
Pending Contracts by Price Range

Price Range	Pending Contracts		List Price		Days on Market		Price as % of Orig.	
	Number	Percent	Average	Median	Avg.	Med.	Avg.	Med.
Below \$25,000	4	0.4%	18,750	18,750	68	47	63.4%	70.0%
\$25,000-\$49,999	10	1.1%	41,680	42,500	54	34	83.1%	90.0%
\$50,000-\$99,999	81	8.9%	77,524	79,000	74	37	94.4%	100.0%
\$100,000-\$124,999	41	4.5%	114,510	115,000	46	19	94.6%	100.0%
\$125,000-\$149,999	67	7.3%	135,583	135,000	42	30	96.8%	100.0%
\$150,000-\$174,999	65	7.1%	161,236	163,900	47	41	97.6%	100.0%
\$175,000-\$199,999	77	8.4%	186,063	185,000	43	26	97.8%	100.0%
\$200,000-\$249,999	140	15.4%	227,292	229,000	43	19	97.8%	100.0%
\$250,000-\$299,999	139	15.2%	273,440	274,900	44	20	98.4%	100.0%
\$300,000-\$399,999	159	17.4%	345,296	340,000	57	34	98.0%	100.0%
\$400,000-\$499,999	65	7.1%	450,309	444,900	68	38	98.8%	100.0%
\$500,000-\$749,999	43	4.7%	590,439	585,000	76	42	98.9%	100.0%
\$750,000-\$999,999	15	1.6%	835,204	799,000	88	56	99.4%	100.0%
\$1,000,000 and up	6	0.7%	2,348,867	1,278,102	73	95	98.6%	100.0%



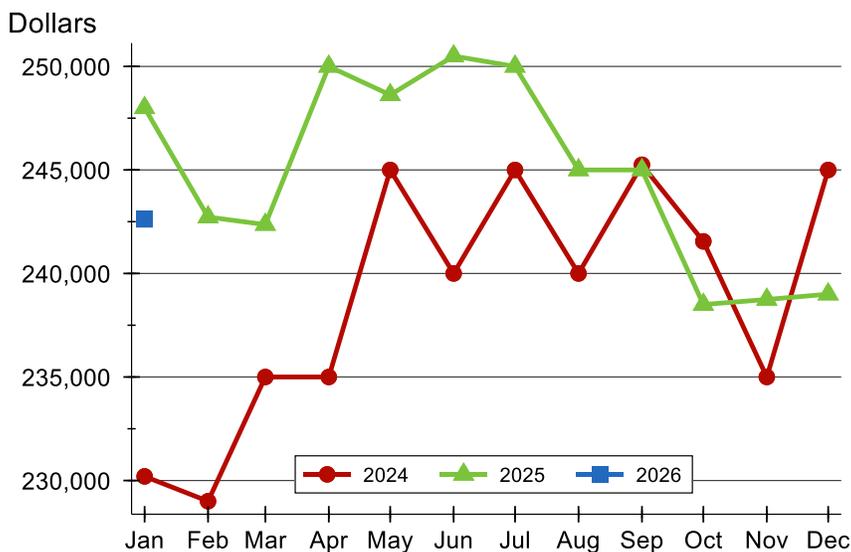
Entire MLS System Pending Contracts Analysis

Average Price



Month	2024	2025	2026
January	264,166	283,561	275,624
February	264,391	276,347	
March	273,932	276,901	
April	279,507	285,087	
May	284,049	281,400	
June	280,205	288,447	
July	287,761	282,346	
August	275,701	276,016	
September	275,154	275,567	
October	282,245	274,134	
November	281,440	270,818	
December	276,853	270,401	

Median Price

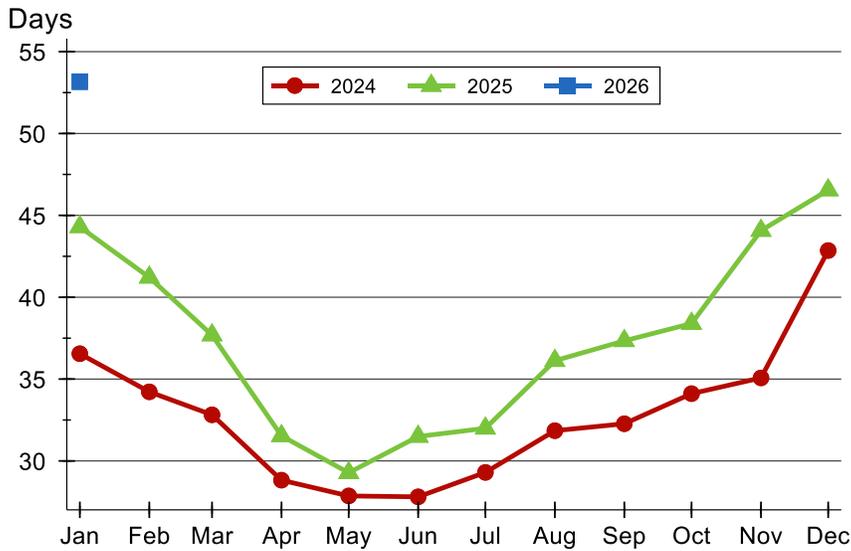


Month	2024	2025	2026
January	230,200	248,000	242,613
February	229,000	242,725	
March	235,000	242,363	
April	235,000	250,000	
May	245,000	248,625	
June	240,000	250,500	
July	245,000	250,000	
August	240,000	245,000	
September	245,250	245,000	
October	241,550	238,500	
November	235,000	238,745	
December	245,000	239,000	



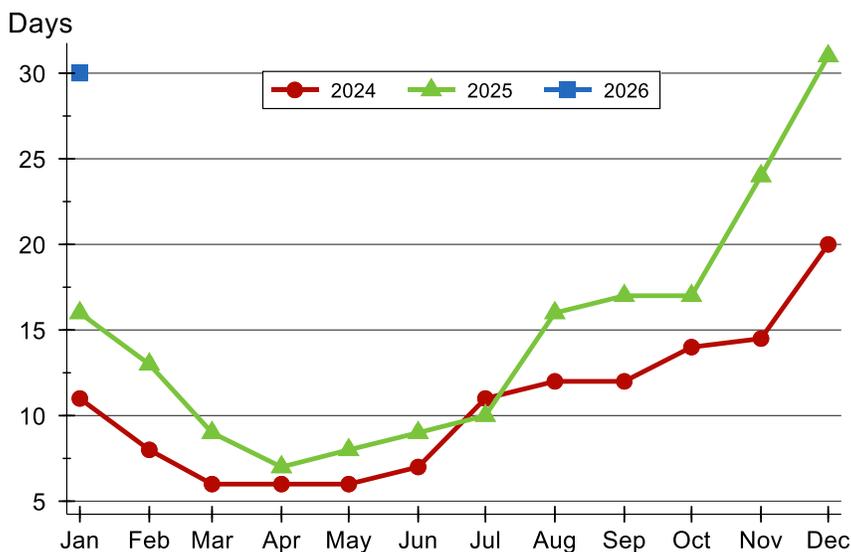
Entire MLS System Pending Contracts Analysis

Average DOM



Month	2024	2025	2026
January	37	44	53
February	34	41	
March	33	38	
April	29	32	
May	28	29	
June	28	31	
July	29	32	
August	32	36	
September	32	37	
October	34	38	
November	35	44	
December	43	47	

Median DOM



Month	2024	2025	2026
January	11	16	30
February	8	13	
March	6	9	
April	6	7	
May	6	8	
June	7	9	
July	11	10	
August	12	16	
September	12	17	
October	14	17	
November	15	24	
December	20	31	